

Site Plans and Presentations Pack



Planning Committee

Wed 17 Jun
2020
7.00 pm

Virtual Meeting



www.redditchbc.gov.uk

**If you have any queries on this Agenda please contact
Sarah Sellers**

**Town Hall, Walter Stranz Square, Redditch, B98 8AH
Tel: (01527) 64252 (Ext. 2884)**

e.mail: sarah.sellers@bromsgroveandredditch.gov.uk

Planning

COMMITTEE

Wednesday, 17th June, 2020

7.00 pm

Virtual Meeting - Skype - Virtual

Agenda

Membership:

Cllrs:	Salman Akbar (Chair)	Anthony Lovell
	Gemma Monaco (Vice-Chair)	Nyear Nazir
	Brandon Clayton	Gareth Prosser
	Andrew Fry	Jennifer Wheeler
	Bill Hartnett	

- 6.** Application 19/01312/HYB - Land North Of Greenlands Business Centre, Studley Road, Redditch - Mr S Spence (Pages 1 - 12)

Site plan and presentation

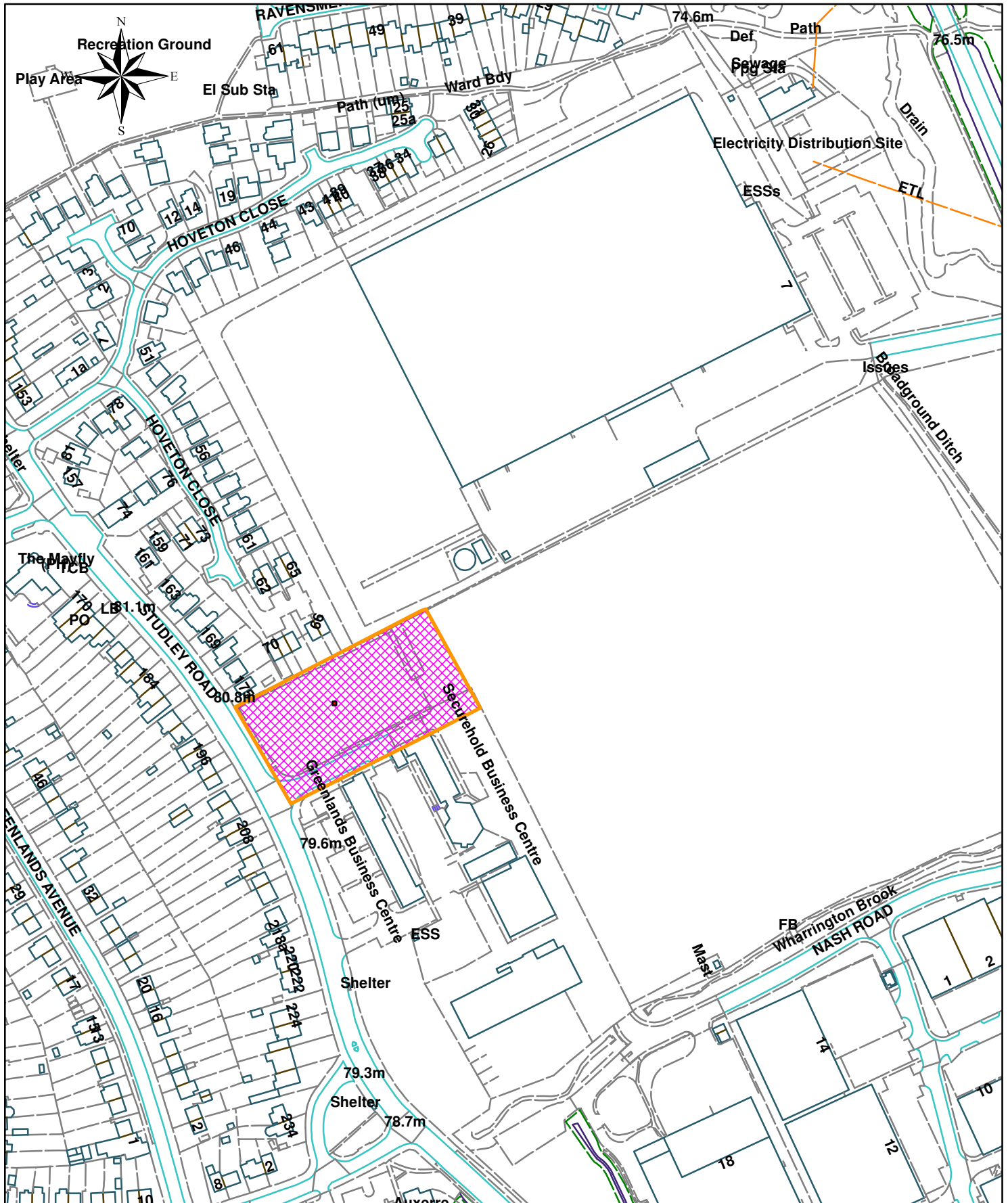
- 7.** Application 19/01600/REM - Victoria Works, Edward Street, Redditch, B97 6HA - Mr George Stoyan Accord Housing Group (Pages 13 - 36)

Site plan and presentation

- 8.** Application 19/01622/FUL - Car Park Land Adjacent Clive Works, Edward Street, Redditch - Mr George Stoyan Accord Housing Group (Pages 37 - 54)

Site plan and presentation

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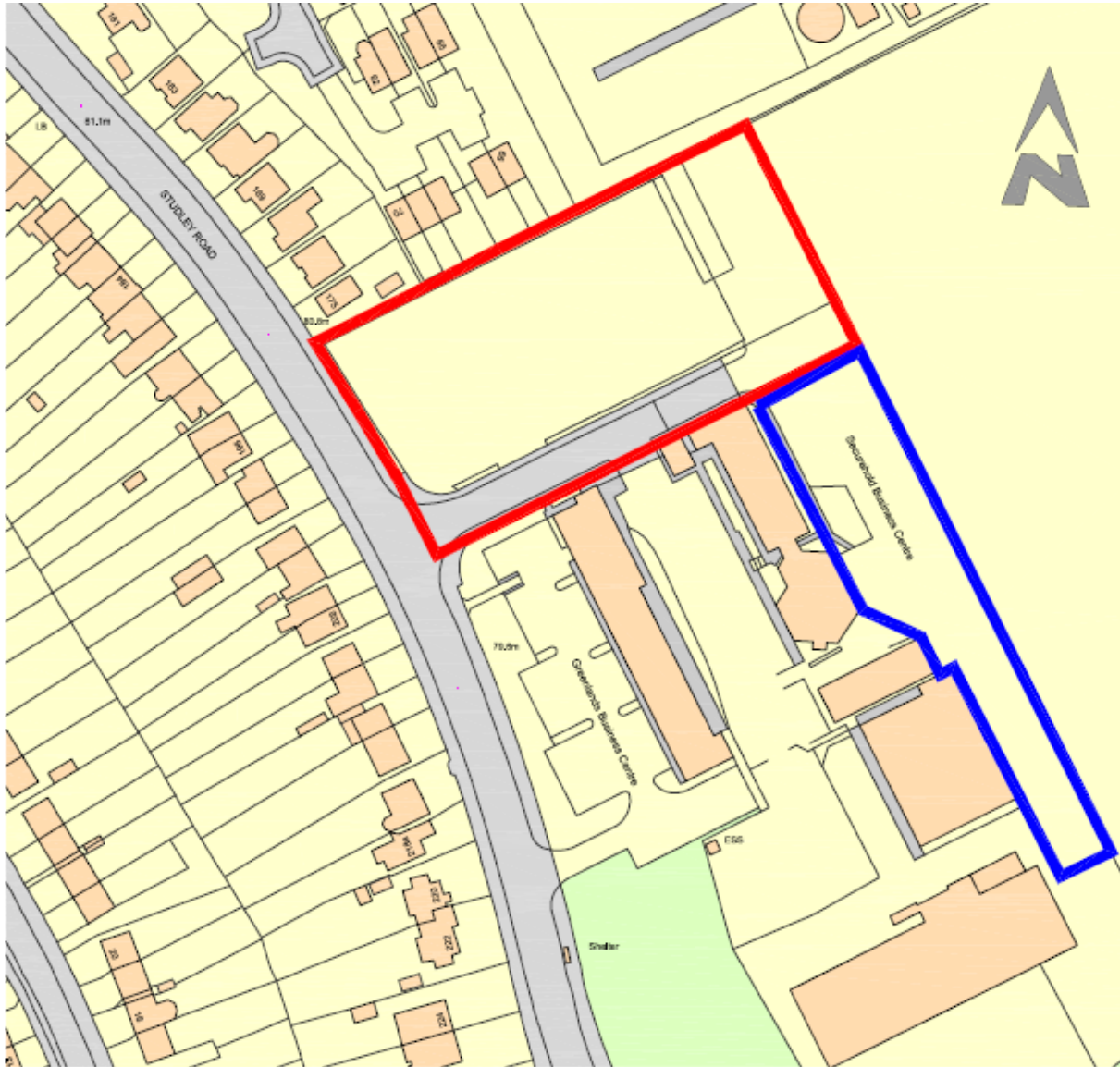
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19/01312/HYB

Land North Of Greenlands Business Centre, Studley
Road, Redditch

Hybrid planning application for mixed use development, consisting of (1) full planning permission for 2 commercial units (B1 and B8 uses) and (2) outline planning permission (all matters reserved except for access) for the erection of up to 8 residential units and associated infrastructure.

Recommendation: Approve



Location Plan

Scale 1:1250 @ A1 / 1:2500 @ A3

An aerial map of a residential and commercial area in Glasgow, Scotland. A red rectangular boundary highlights a vacant plot of land. The plot is situated between Studley Rd to the west and a residential street to the east. To the south of the plot are several commercial buildings, including Gary Spencer Autosurgeon, Jet Vehicle Finance, AG Cranes Limited, Time Taxis, and a Chargemaster Charging Station. To the east of the plot is a large, open, sandy area, likely a construction site or a large parking lot. The map also shows Studley Rd running diagonally from the top left to the bottom right, and a residential street running horizontally across the top. Various landmarks and businesses are labeled with pins, including a pub, a post office, and a business centre.



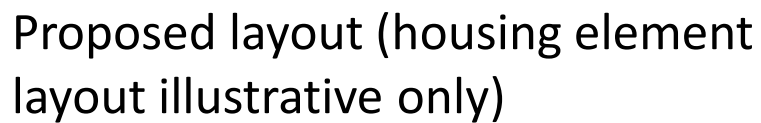
Studley Road looking South

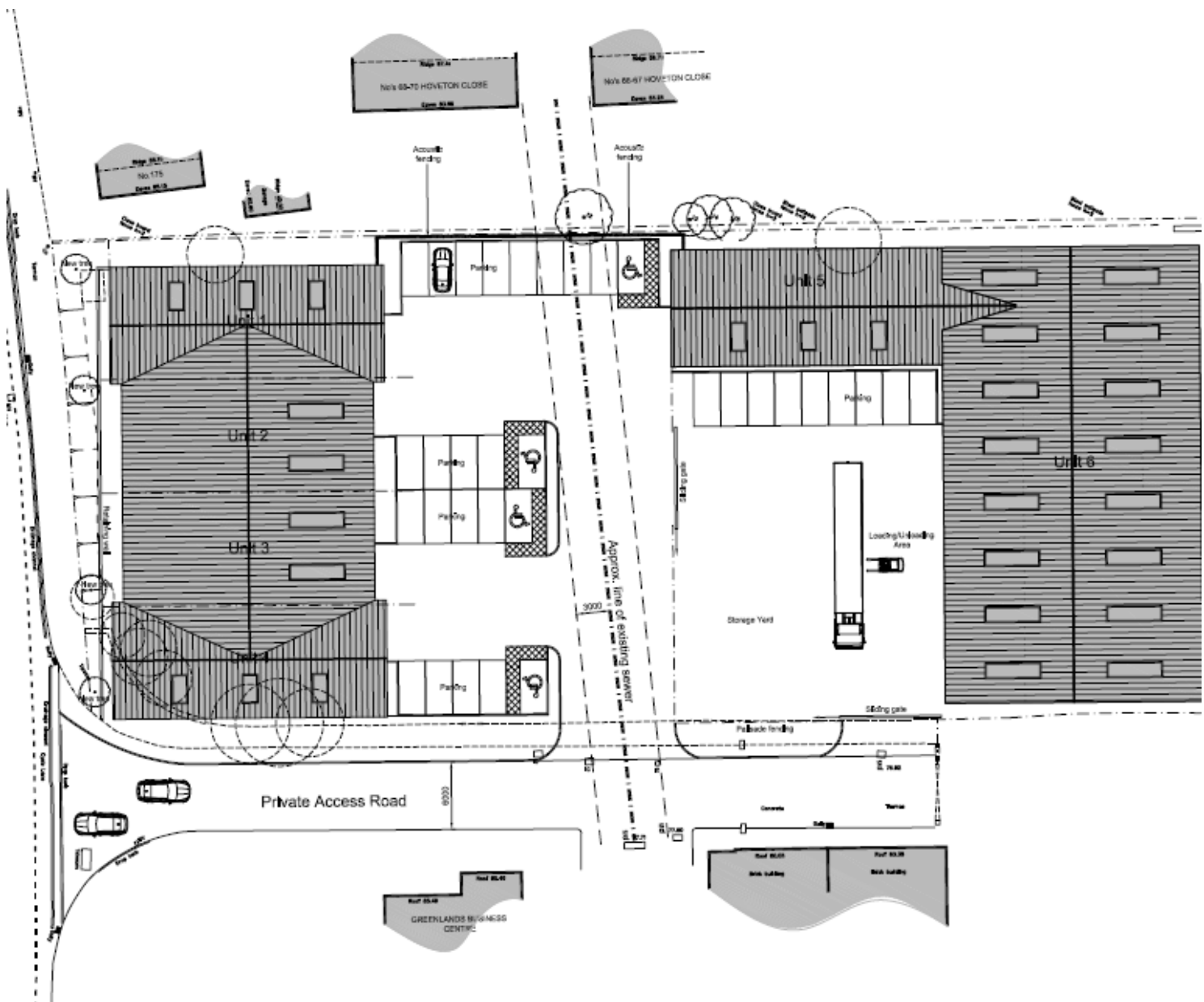


Hoveton Close properties abutting
northern site boundary

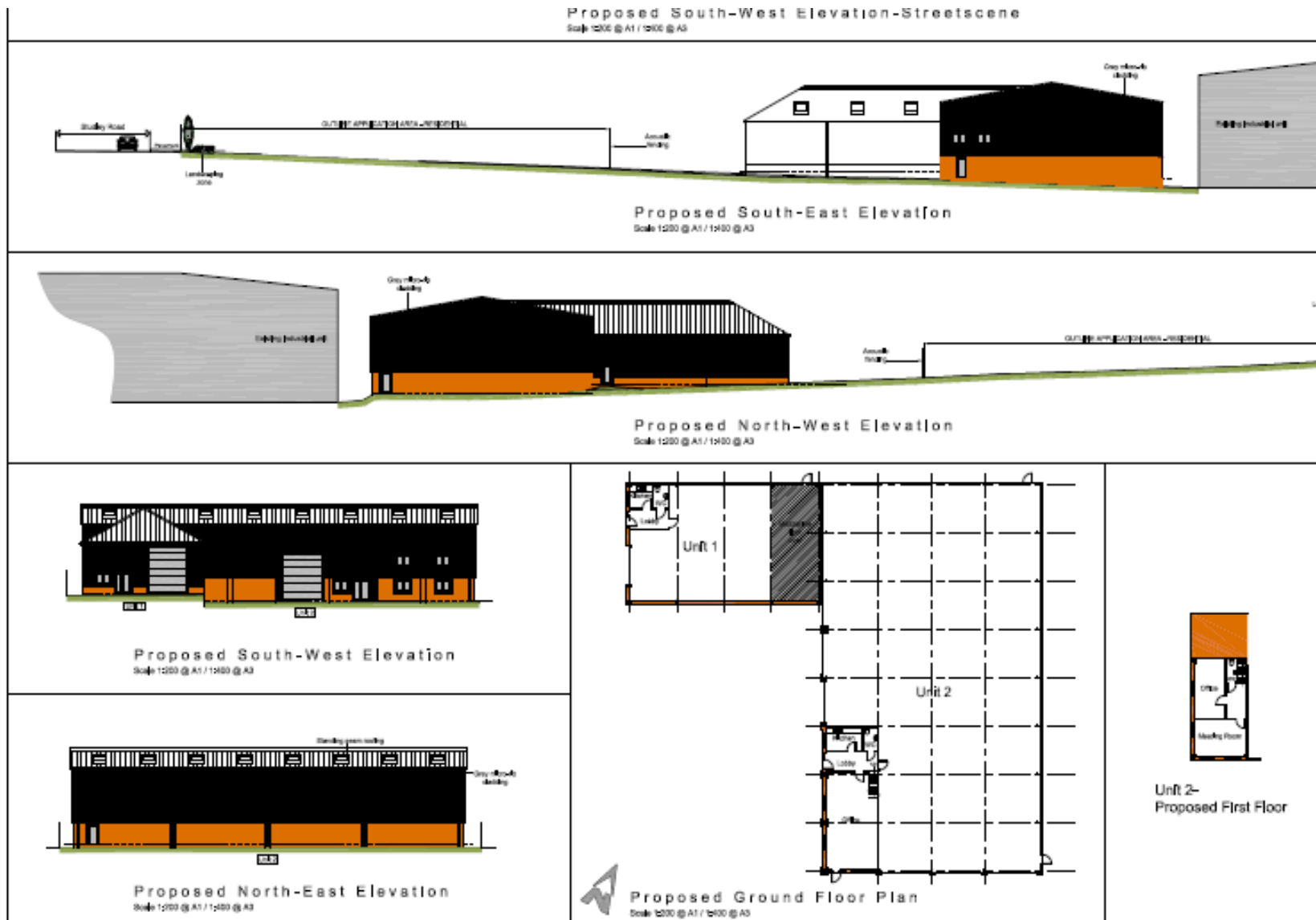


Point of access off
Studley Road



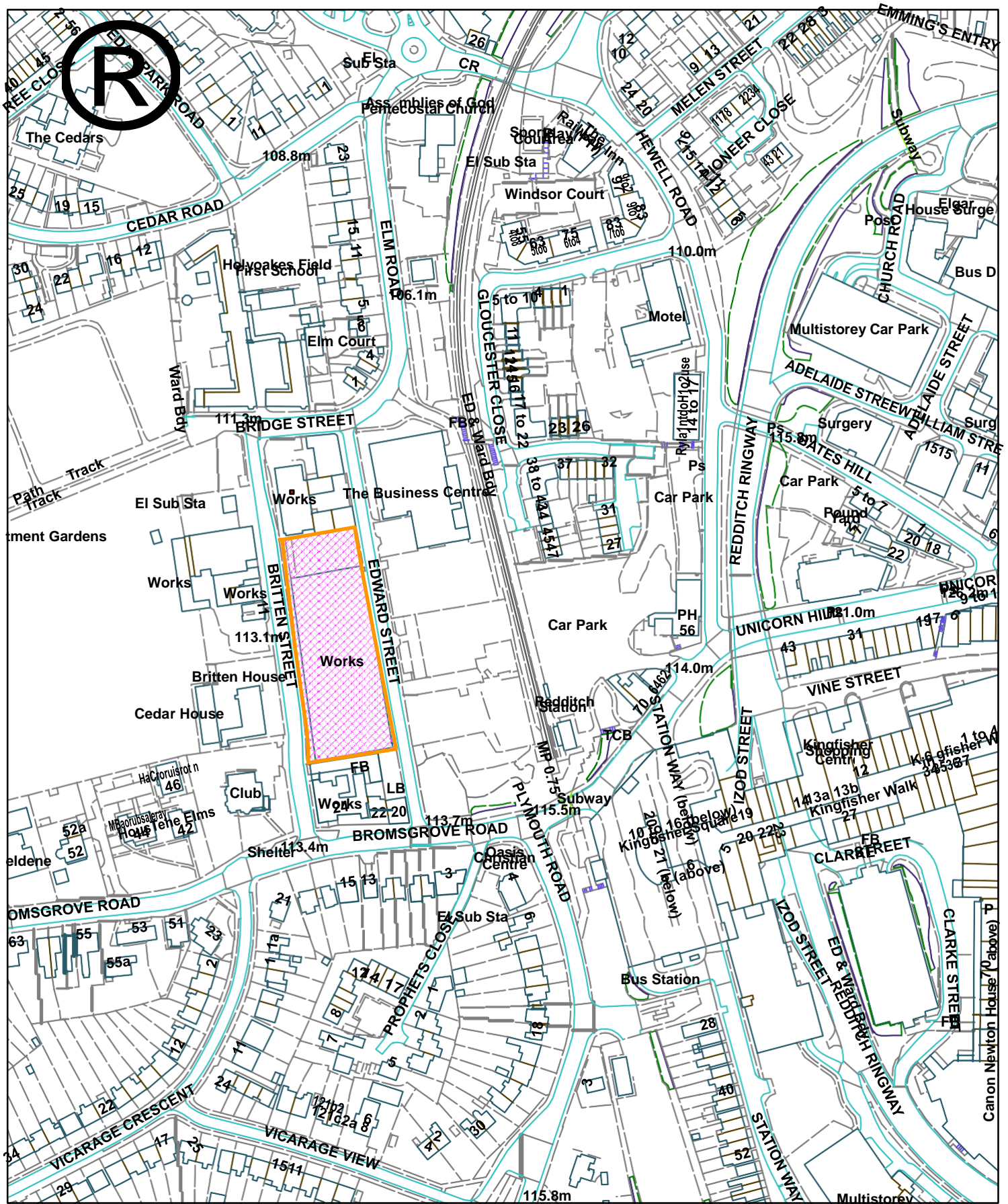


Refused layout (19/00899/FUL)



Proposed elevations of Units 1 and 2

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19/01600/REM

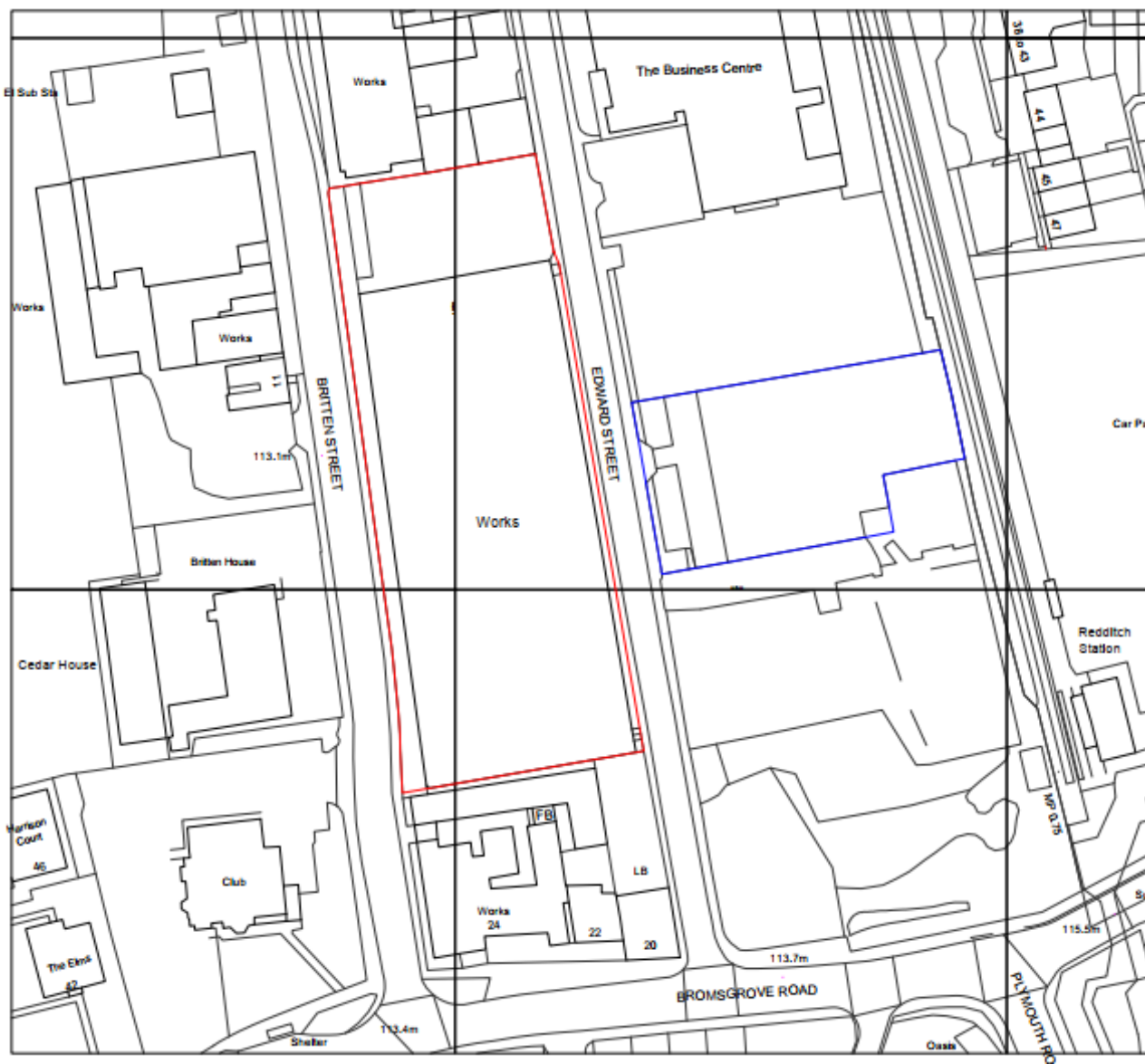
Victoria Works, Edward Street, Redditch

Reserved Matters Application seeking consent for access, appearance, landscaping and layout, following outline planning approval ref

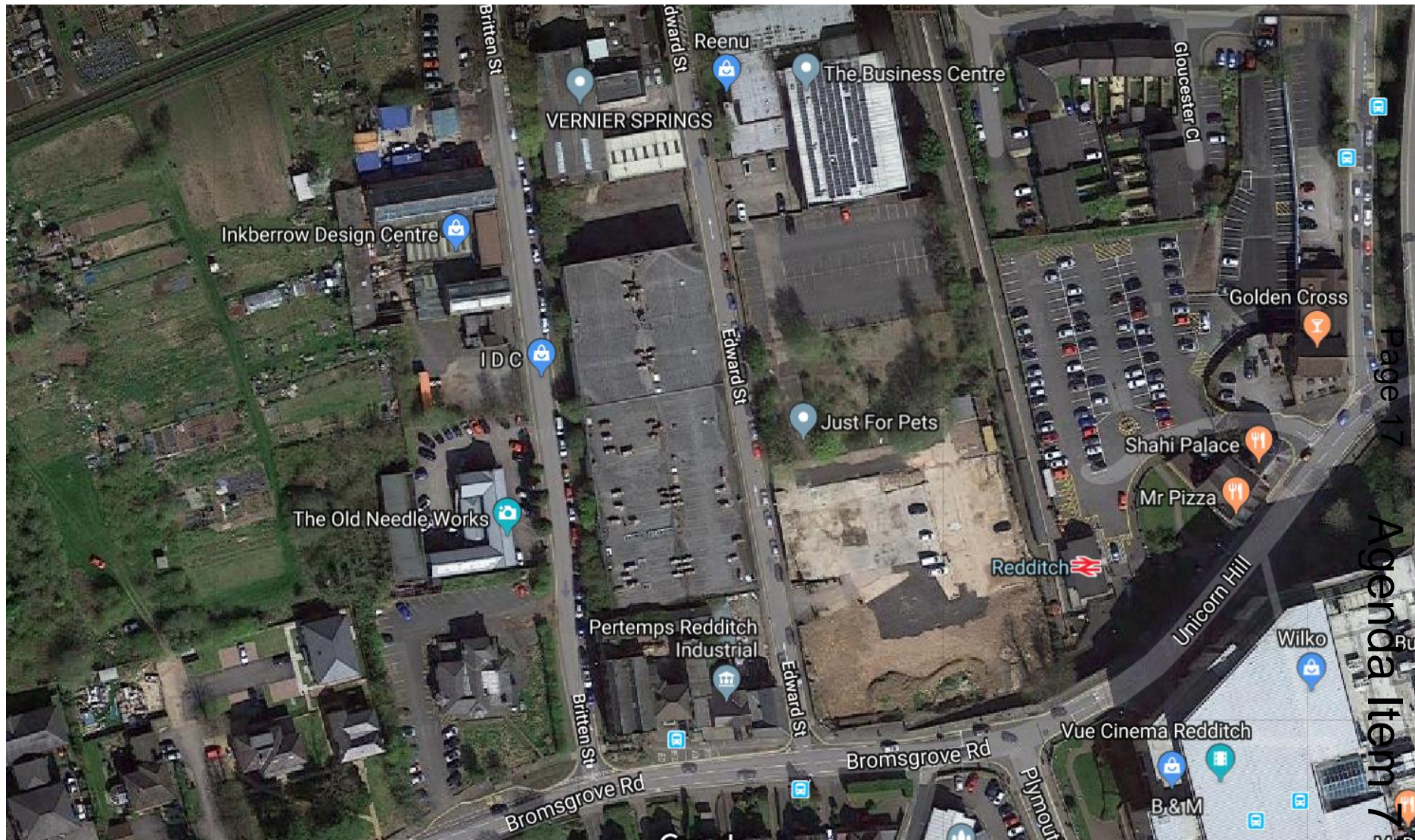
18/01515/OUT: Outline approval for the demolition of redundant factory and erection of up to 75 residential units (matter of scale approved)

Recommendation: Grant subject to conditions

Site Location



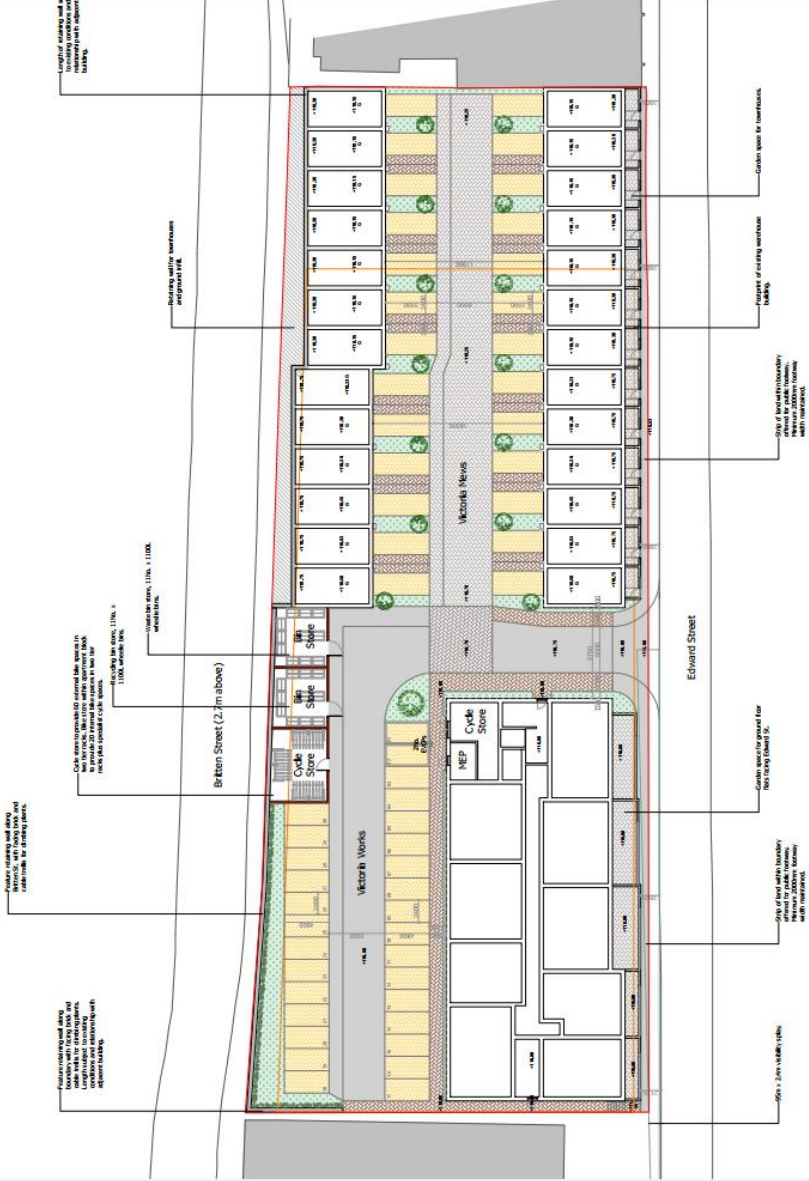
Satellite View



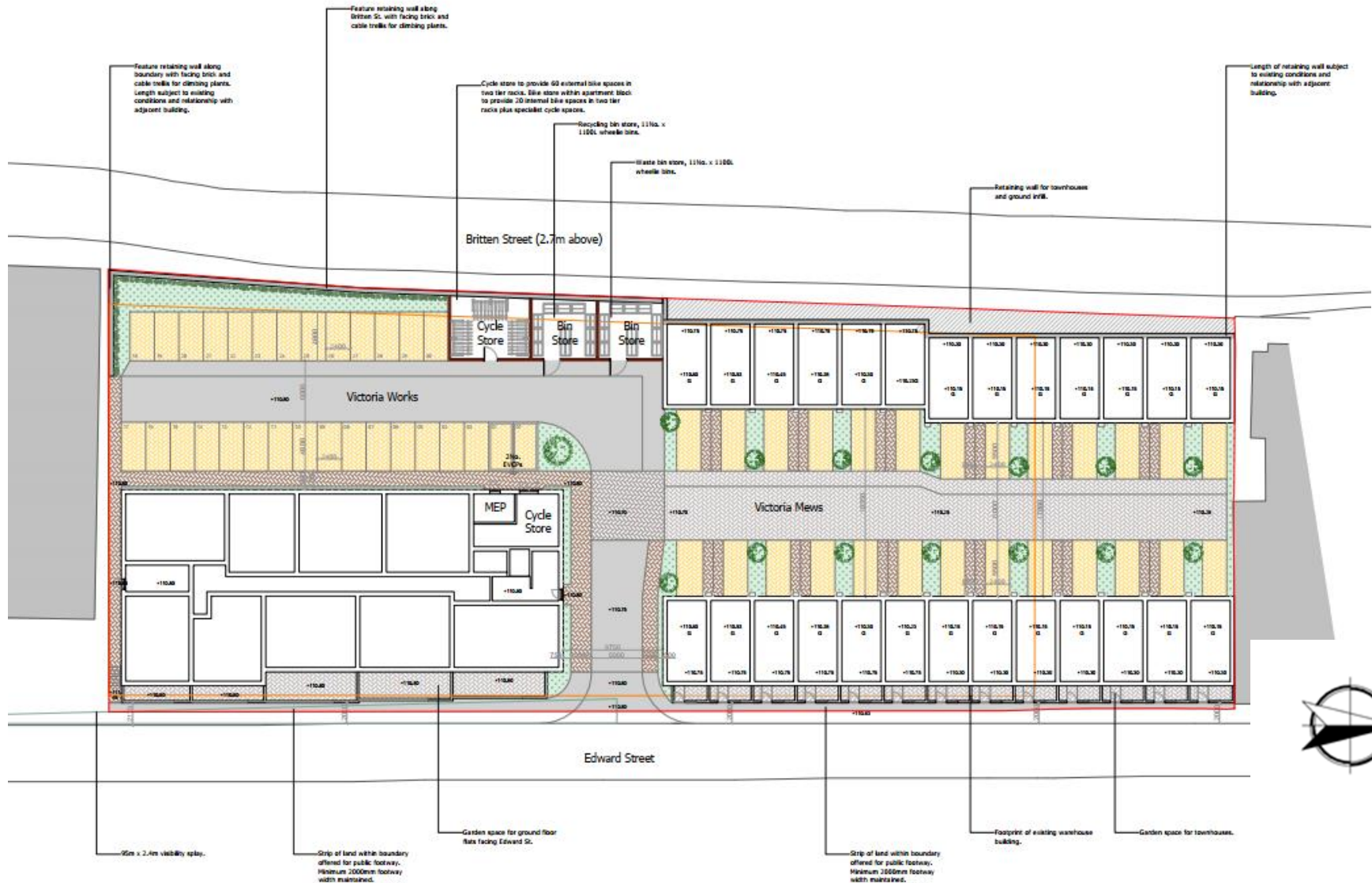
View from Bromsgrove Road



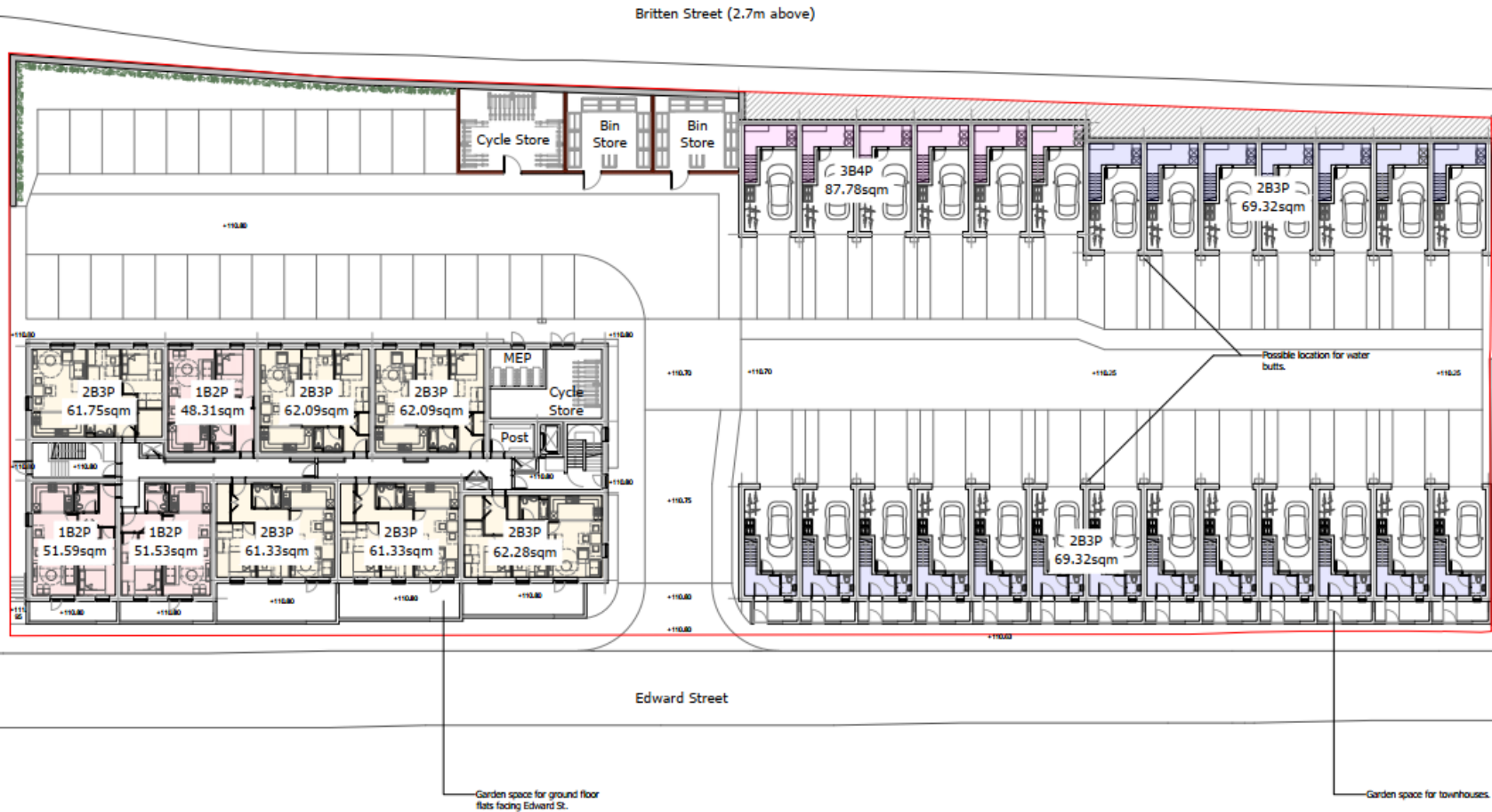
Site layout



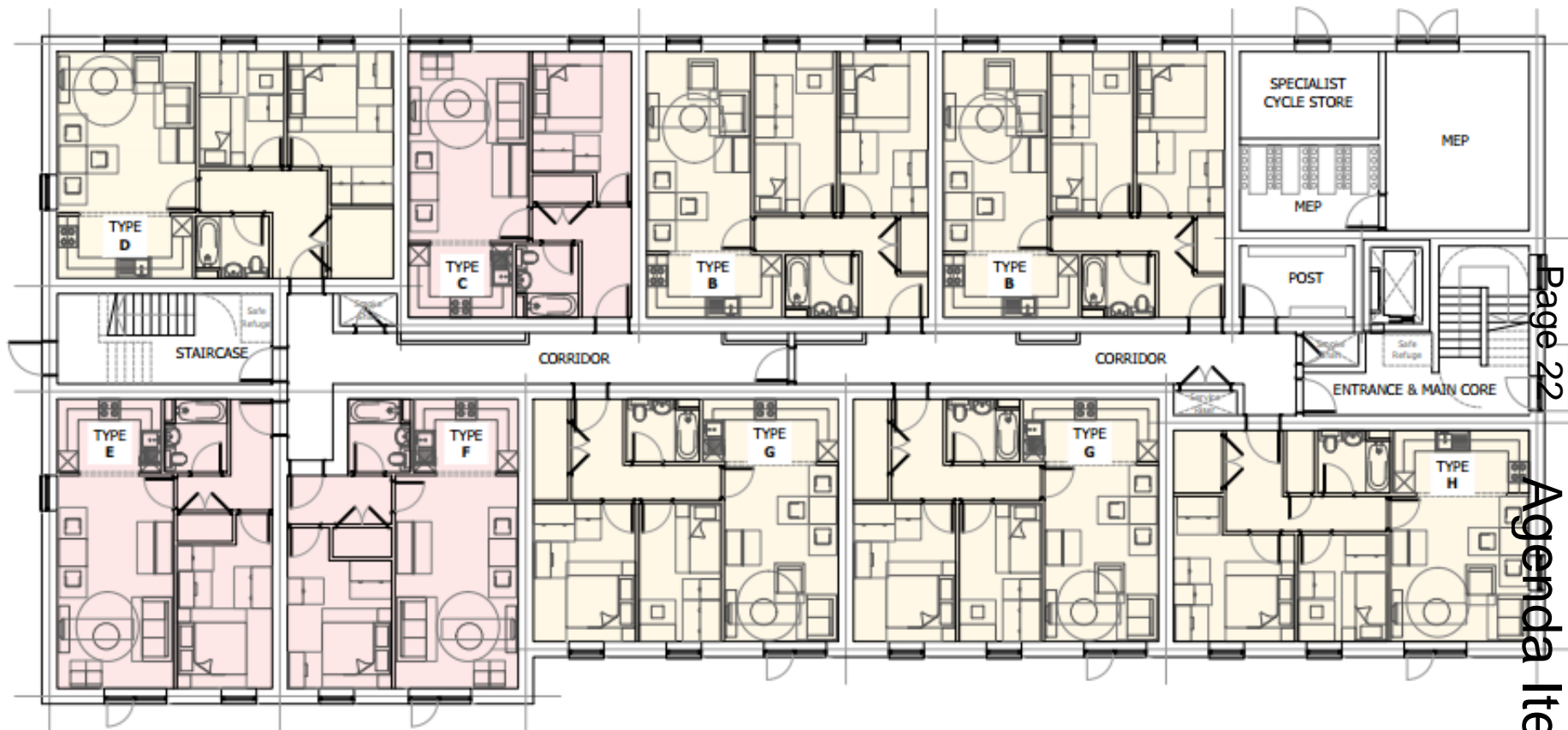
Site layout



Ground floor



Apartment block ground floor



Apartment Block Ground Floor Plan Layout

Apartment block from Edward Street

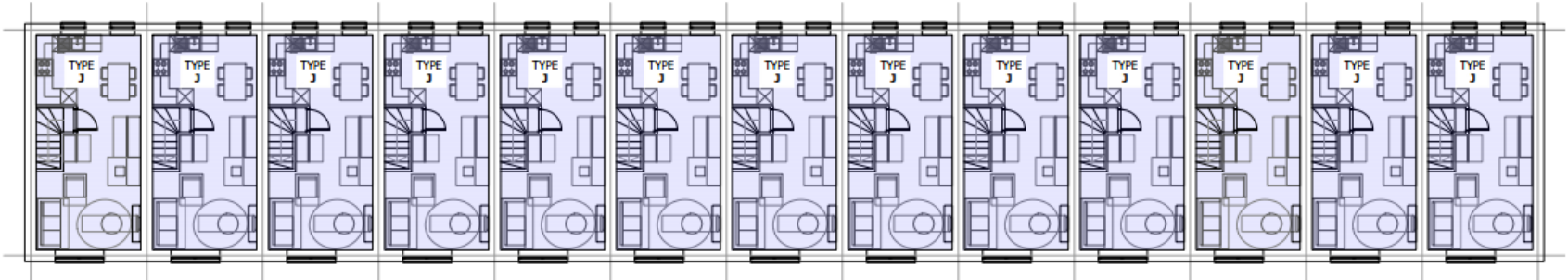


Apartment Block East Elevation - From Edward Street

Page 24
Agenda Item 7

Townhouses facing Edward Street

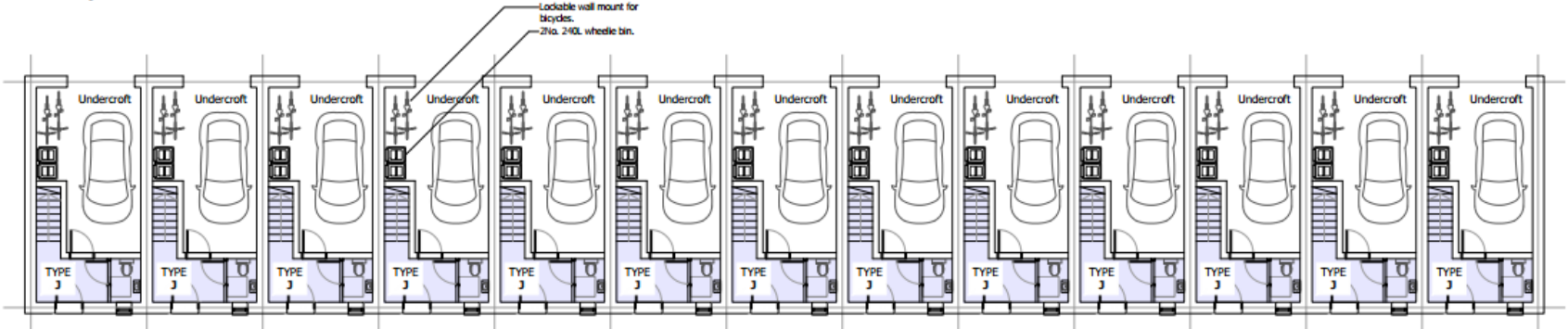
Townhouses Facing Edward Street Roof Plan



Townhouses Facing Edward Street Second Floor Plan



Townhouses Facing Edward Street First Floor Plan



Townhouses Facing Edward Street Ground Floor Plan

Lockable wall mount for bicycles.
210L 240L wheeled bin.

Townhouses from Edward Street



Townhouses Facing Edward Street East Elevation - From Edward Street

Townhouses from Britten Street



Townhouses Facing Britten Street West Elevation - From Britten Street

Street scenes



Visual from Edward Street



Visual from Britten Street



Visual from Britten Street



Townhouses from courtyard



Townhouses from courtyard



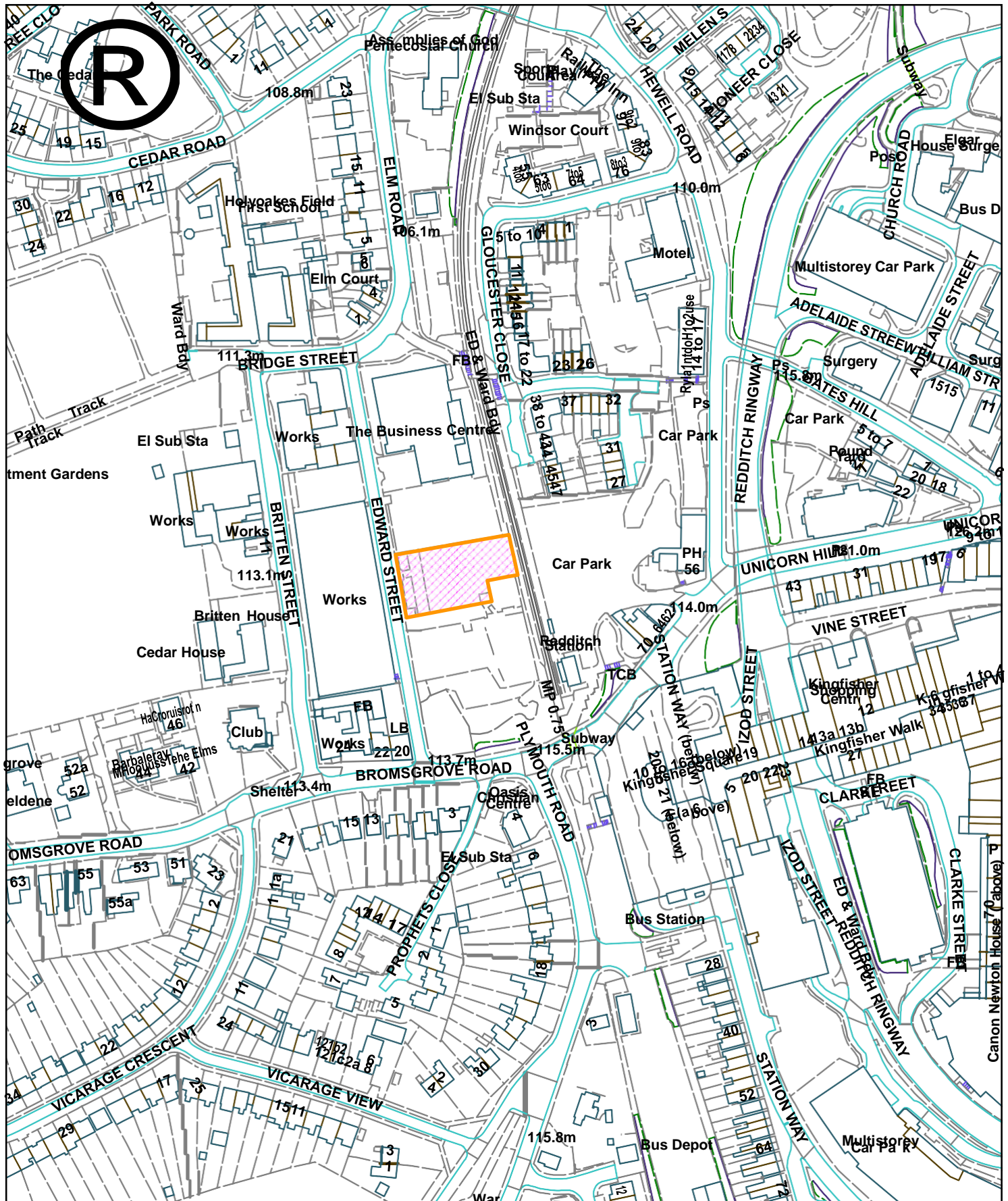
Aerial 19/01600 and 19/01622



Aerial 19/01600 and 19/01622



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Planning & Regeneration
Town Hall
Walter Stranz Hall Square
Redditch
B98 8AH

19/01622/FUL

Land North of Clive Works

17 June 2020

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19/01622/FUL

Car Park Land Adjacent Clive Works, Edward Street

Erection of two three-storey buildings to provide 19no. one bed apartments for affordable rent and 90 sq. m. of office space for use by Accord Group

Recommendation: Delegate to Head of Service to grant subject to completion of S106 agreement and conditions

Site Location

KEY

— Site Boundary Line

— Land Owned By The Applicant

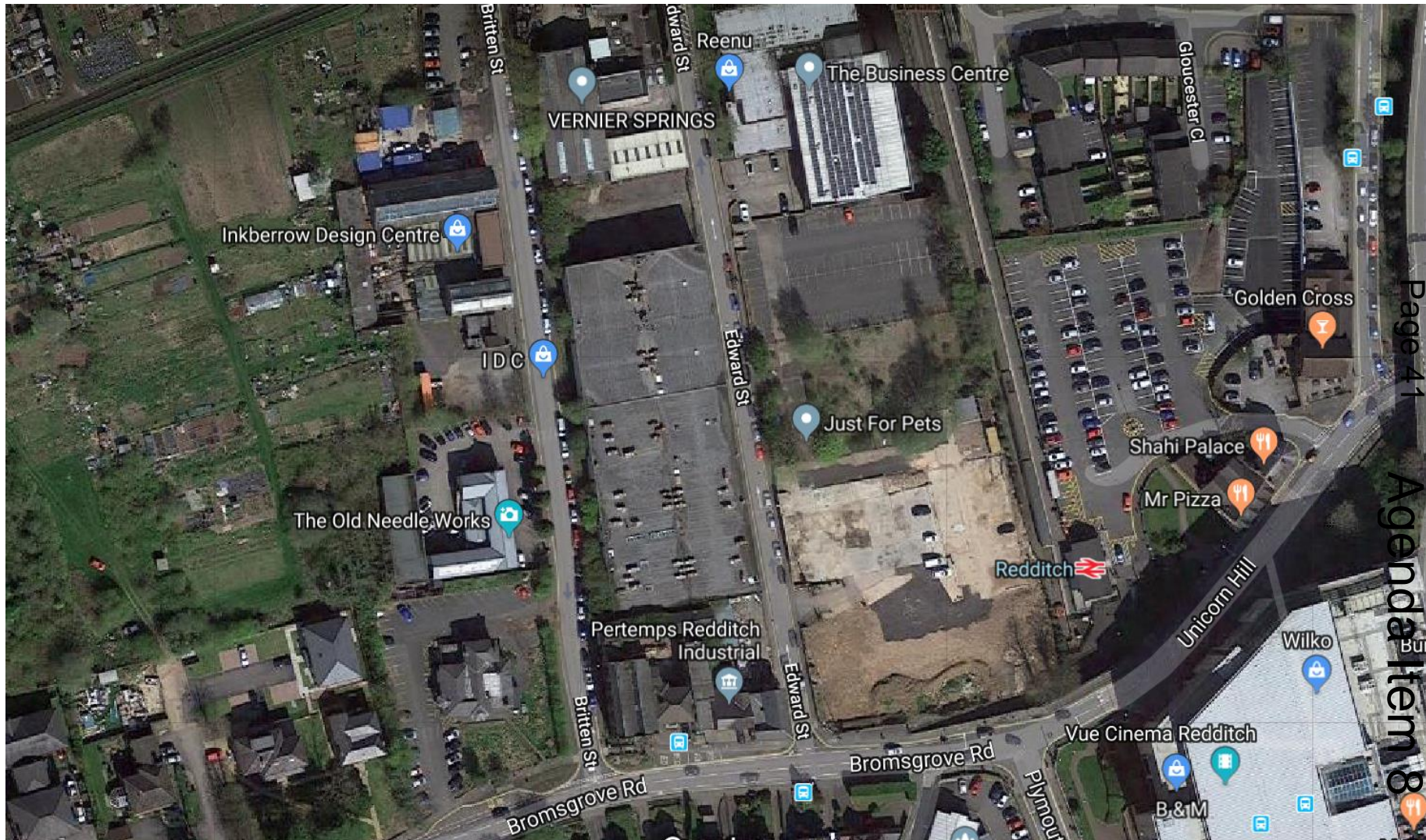


rev note

indesign.

part of the
accord
group

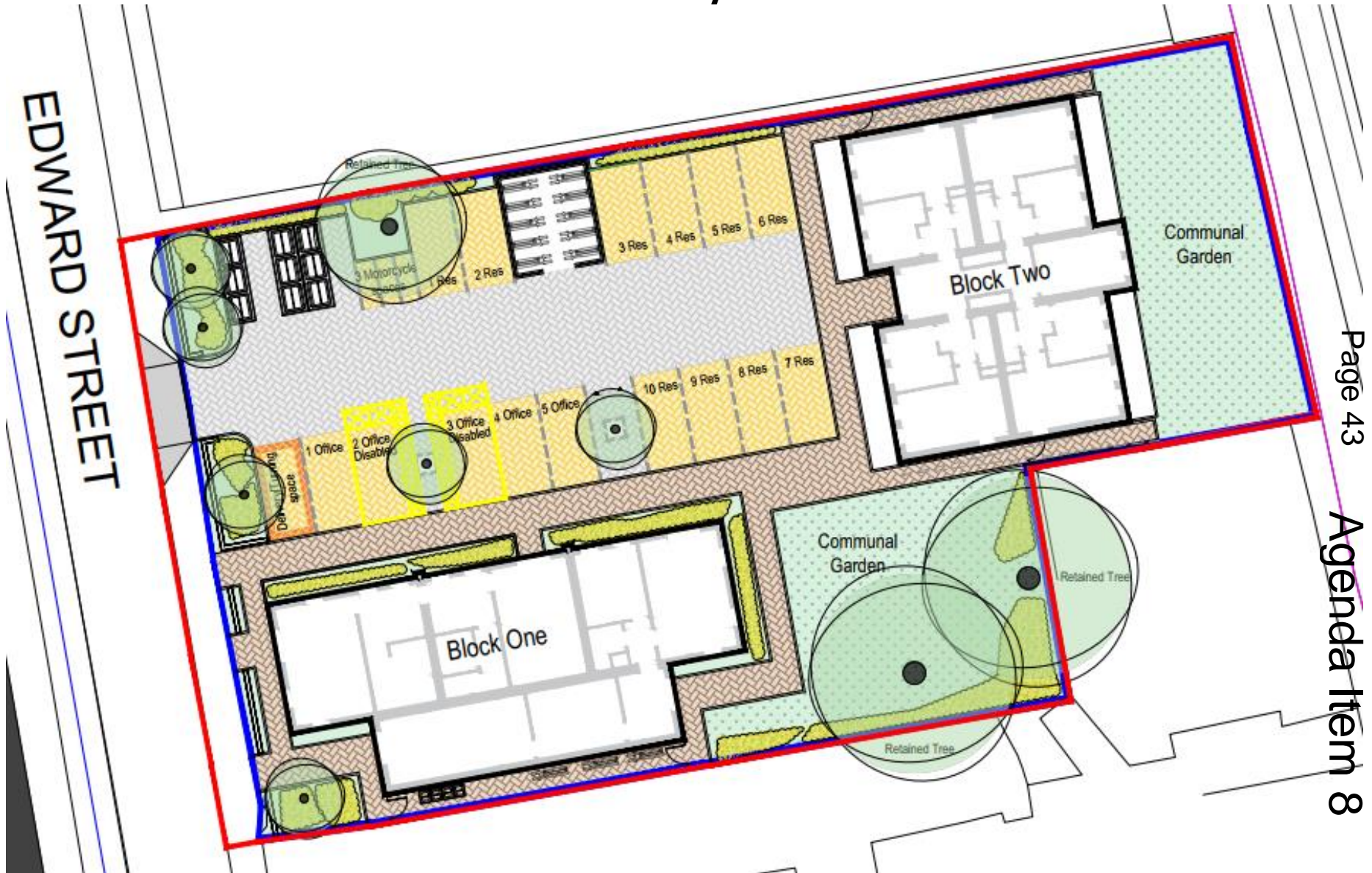
Satellite View



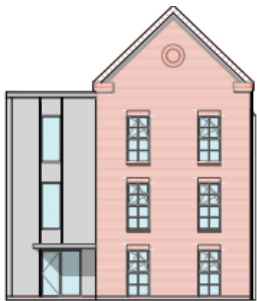
View from Bromsgrove Road



Site layout



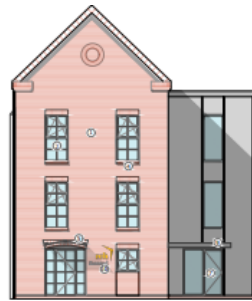
Building 1 plans and elevations



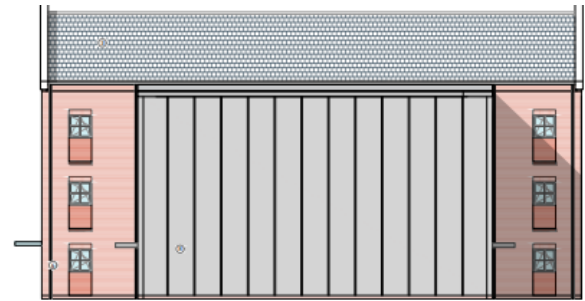
Eastern elevation



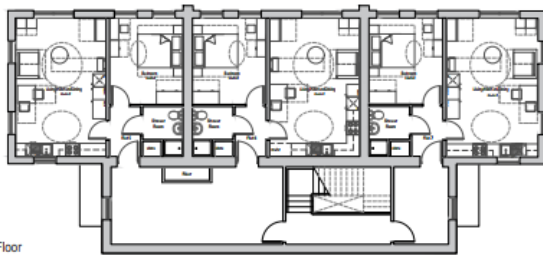
Northern elevation



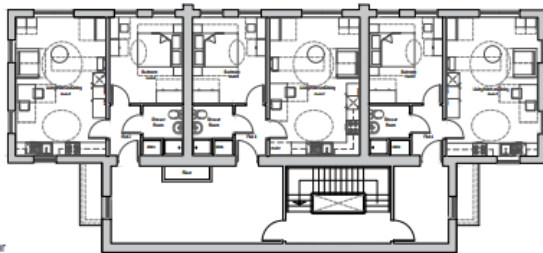
Edward Street / western elevation



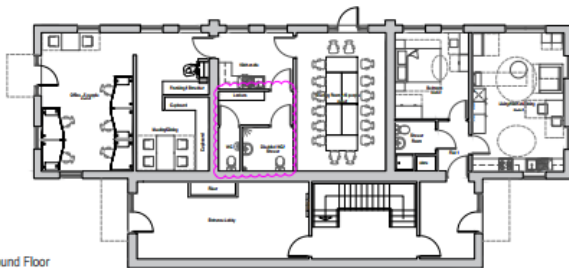
Southern elevation



Second Floor



First Floor



Ground Floor

- Material Schedule:**
- ① Facing brick: Brick Spec TBC • Stretcher bond • Red Colour
 - ② Windows: Material & Spec TBC • Dark Grey Colour
 - ③ Roof tiles: Thin Leading Edge Concrete Interlocking Tile • Colour TBC
 - ④ Window Sills: Brick Spec TBC • Cant brick on edge • Red Colour
 - ⑤ Office Entrance Door Canopy: Stainless Steel Hung Glass Canopy
 - ⑥ Rainwater Goods: Material TBC • Colour TBC
 - ⑦ Entrance Doors: Material TBC • Colour TBC
 - ⑧ Rainscreen Cladding: High Pressure Laminate • Colour TBC
 - ⑨ Entrance Door Canopy: PPC Aluminium • Colour TBC
 - ⑩ Office Signage

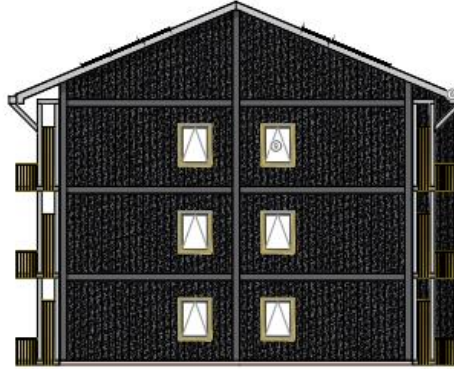


		170 Birmingham Road 1701 Birmingham 478 0201 744 8000 111 7000 www.indesigngroup.co.uk
ACCORD GROUP		
Former Victoria Works Car Park, Edwards Street, Redditch, B97 6HA		
Apartment Block One • Plans and Elevations		
No 19-1624	Sheet No 110	Rev A

Building 2 plans and elevations



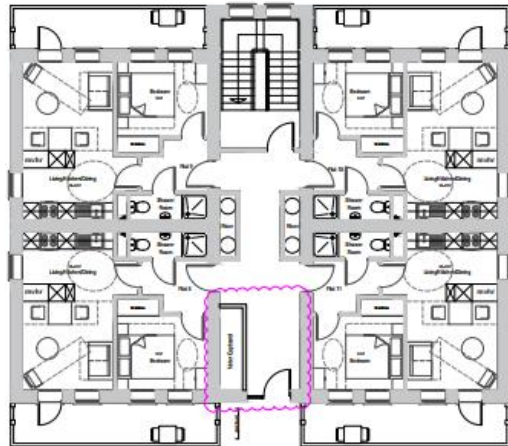
Front elevation to Edward Street



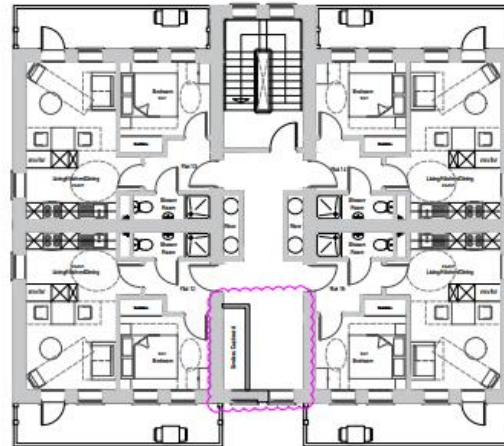
Side elevations



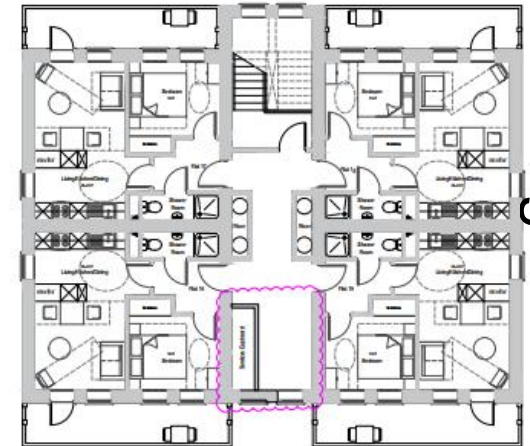
Rear elevation to Redditch Train Station



Ground floor



First floor



Second floor



indesign.
part of the
accord
group

Building 2 visual



Visual from Edward Street



Visual from East



Visual from Edward Street



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part of the
accord

Visual from Building B



Aerial 19/01600 and 19/01622



Aerial 19/01600 and 19/01622



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